

12/9/13 Legislative Committee/Planning Commission Subcommittee Meeting
Follow-Up from 11/18/13 Meeting

	Date of Discussion	Topic	Decision/Issue	Staff Follow-up												
☑	9/30/13 and 10/28/13 and 11/18/13	Development Standards	Sliding Scale seems to be more fair	<p>Direction: look at Heightened Design Review, Impervious Surface and Basement issues</p> <p>10/28/13—Adjust Sliding Scale to smooth out parcels 3,000-3,500 square feet. See new Options 2 and 3. Option 1 is original sliding scale.</p> <p>11/18/13—The Committee decided to recommend Option 3.</p> <table border="1" data-bbox="1373 634 1898 833"> <thead> <tr> <th style="text-align: center;">Floor Area</th> </tr> </thead> <tbody> <tr> <td>0-3,000 sf parcel: $0.65 * (\text{parcel size})$</td> </tr> <tr> <td>3,000-6,000 sf parcel: $0.65 - (((\text{parcel size} - 3000) / 3000) * (0.65 - 0.45))$</td> </tr> <tr> <td>6,000 sf parcel+: $0.45 * (\text{parcel size})$</td> </tr> </tbody> </table> <table border="1" data-bbox="1373 867 1898 1065"> <thead> <tr> <th style="text-align: center;">Building Coverage</th> </tr> </thead> <tbody> <tr> <td>0-3,000 sf parcel: $50\% * (\text{parcel size})$</td> </tr> <tr> <td>3,000-6,000 sf parcel: $50\% - (((\text{parcel size} - 3000) / 3000) * (0.50 - 0.35))\%$</td> </tr> <tr> <td>6,000 sf parcel+: $35\% * (\text{parcel size})$</td> </tr> </tbody> </table> <table border="1" data-bbox="1373 1099 1898 1297"> <thead> <tr> <th style="text-align: center;">Impervious Surfaces</th> </tr> </thead> <tbody> <tr> <td>0-3,000 sf parcel: $75\% * (\text{parcel size})$</td> </tr> <tr> <td>3,000-6,000 sf parcel: $75\% - (((\text{parcel size} - 3000) / 3000) * (0.75 - 0.675))\%$</td> </tr> <tr> <td>6,000 sf parcel+: $67.5\% * (\text{parcel size})$</td> </tr> </tbody> </table>	Floor Area	0-3,000 sf parcel: $0.65 * (\text{parcel size})$	3,000-6,000 sf parcel: $0.65 - (((\text{parcel size} - 3000) / 3000) * (0.65 - 0.45))$	6,000 sf parcel+: $0.45 * (\text{parcel size})$	Building Coverage	0-3,000 sf parcel: $50\% * (\text{parcel size})$	3,000-6,000 sf parcel: $50\% - (((\text{parcel size} - 3000) / 3000) * (0.50 - 0.35))\%$	6,000 sf parcel+: $35\% * (\text{parcel size})$	Impervious Surfaces	0-3,000 sf parcel: $75\% * (\text{parcel size})$	3,000-6,000 sf parcel: $75\% - (((\text{parcel size} - 3000) / 3000) * (0.75 - 0.675))\%$	6,000 sf parcel+: $67.5\% * (\text{parcel size})$
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<input type="checkbox"/>	9/30/13	Heightened Design Review	Is Heightened Design Review triggered by 80% of the new standards or the total allowable? This should be looked at in the context of smaller parcels.	[Did not review at 10/28/13 meeting] Language in Zoning Ordinance may need to be clarified. Issue may need to be reviewed by the Planning Commission as it was not previously considered. See Table—"Comparing Heightened Design Review Triggers"
<input type="checkbox"/>	9/30/13	Impervious Surface	Check to see that if the building coverage is maxed out for a single unit there would still be enough impervious surface left over for driveway, parking space, etc. for a single family home.	[Did not review at 10/28/13 meeting] See Table—"Remaining Impervious Surface if Building Coverage is Maxed Out for a Single Unit." With the sliding scale system, 432 square feet is left over for impervious surfaces on a 1,500 square foot parcel, which is enough for a 20x20 or 40x10 driveway (space for two cars parked side by side or two tandem cars).
<input checked="" type="checkbox"/>	9/30/13 and 11/18/13	Basements	Determine if new development standards disincentives the utilization of underground space for floor area.	Reviewed at 11/8/13 Meeting
<input checked="" type="checkbox"/>	9/30/13	200 Square Foot Bonus-SF Home	10/28/13: 200 square foot bonus and 10 year sunset clause is acceptable for an existing single family home.	Make the PC aware of the discussion on the underground FAR credit issue
<input checked="" type="checkbox"/>	9/30/13	Housing Element Infill	Will the new development standards adversely impact the infill strategy in the Housing Element?	10/28/13—Committee looked at inventory in Housing Element and decided that this ordinance amendment is a separate issue.

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<input checked="" type="checkbox"/>	10/28/13	CUP Option	Accepted option 3a Accepted option 3b Accepted option 3c (remove “extremely” and add “to the extent necessary” Rejected option 3d Rejected option 4 Added “landlocked parcels where access is a challenge” to examples” Change “residence” to structure Add Heightened Design Review Findings	11/18/13—Modified language in revised draft ordinance <i>The CUP option was removed from the ordinance by the Committee on 11/18/13. The Committee decided that this exception is not necessary and that a variance would be the appropriate route for an exception.</i>
<input checked="" type="checkbox"/>	10/28/13	200-square foot exception	10 year sunset clause is ok	11/18/13—See modified language in revised draft ordinance

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☑	9/30/13 and 10/28/13	200 Square Foot Bonus-ADU	New issue: Should there be a provision which would allow for an ADU on lots under 3,000 square feet to take advantage of 200 square foot bonus?	<p>With the sliding scale system, on parcels less than 2,750 square feet in the R-2-2.5 zoning district if a single family home is built to the maximum floor area there would not be enough remaining floor area to provide an ADU. Committee could consider allowing such parcels to exceed permitted FAR maximum of 0.65 to provide ADU (worst case would be on a 1,500 square foot parcel a 150 square foot difference would be provided (15% of the allowed FAR of 975 square feet). See Table—"Should an ADU Be Allowed to Exceed Max FAR on Very Small R-2-2.5 Parcels?"</p> <p>10/28/13—Committee agrees in concept but would like to see numbers ran for Sliding Scale Options 2 and 3. An applicant should not get both the 200 square foot exception for the main house and the ADU.</p> <p>11/18/13—Committee agreed to abandon this concept.</p>
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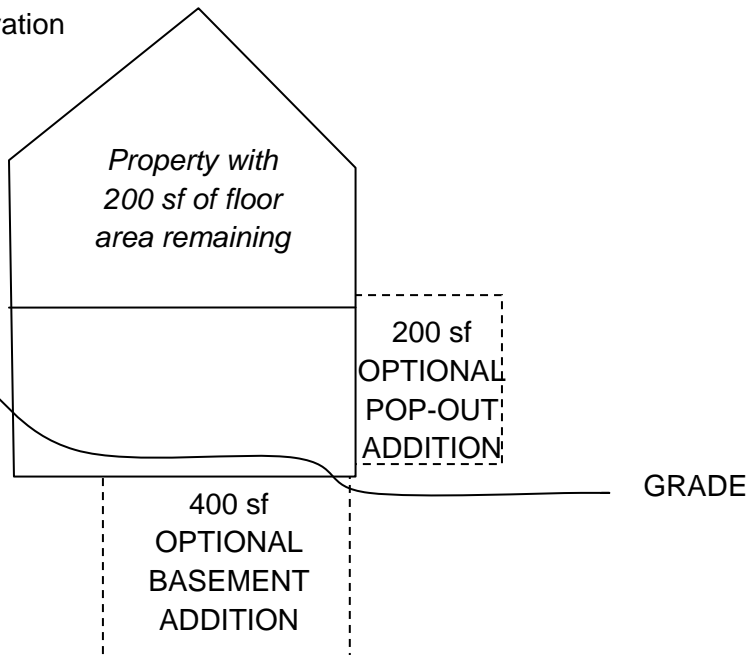
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Remaining Impervious Surface if Building Coverage is Maxed out for a Single Unit			
Parcel Size	Fixed		Sliding
	R-2-2.5	R-3	
1,500	375	375	432
1,750	438	438	504
2,000	500	500	576
2,250	563	563	648
2,500	625	625	720
2,750	688	688	792
3,000	510	210	750
3,250	553	228	823
3,500	595	245	897
3,750	638	263	972
4,000	680	280	1,049
4,250	723	298	1,128
4,500	765	315	1,208
4,750	808	333	1,290
5,000	850	350	1,373
5,250	893	368	1,458
5,500	935	385	1,545
5,750	978	403	1,633
6,000	1,020	420	1,950
6,250	1,063	438	2,031
6,500	1,105	455	2,113
6,750	1,148	473	2,194
7,000	1,190	490	2,275
7,250	1,233	508	2,356
7,500	1,275	525	2,438
7,750	1,318	543	2,519
8,000	1,360	560	2,600

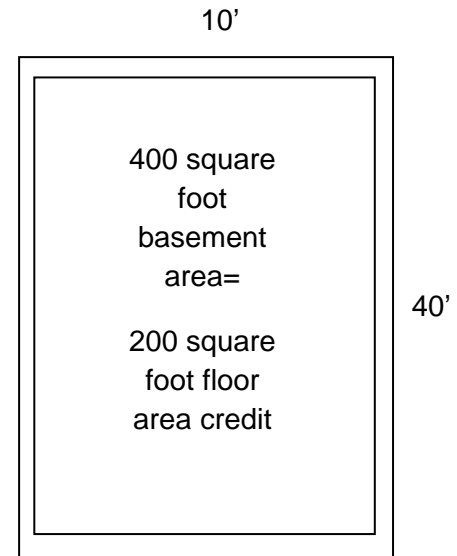
Comparing Heightened Design Review Triggers				
Parcel Size	Current Heightened Design Review Trigger (square footage)		Heightened Design Review Trigger if Applied to Single Unit (square footage)	
	R-2-2.5	R-3	Fixed Percentage	Ratio Option
1,500	780	960	780	660
1,750	910	1,120	910	770
2,000	1,040	1,280	1,040	880
2,250	1,170	1,440	1,170	990
2,500	1,300	1,600	1,300	1,100
2,750	1,430	1,760	1,430	1,210
3,000	1,560	1,920	1,080	1,320
3,250	1,690	2,080	1,170	1,408
3,500	1,820	2,240	1,260	1,493
3,750	1,950	2,400	1,350	1,575
4,000	2,080	2,560	1,440	1,653
4,250	2,210	2,720	1,530	1,728
4,500	2,340	2,880	1,620	1,800
4,750	2,470	3,040	1,710	1,868
5,000	2,600	3,200	1,800	1,933
5,250	2,730	3,360	1,890	1,995
5,500	2,860	3,520	1,980	2,053
5,750	2,990	3,680	2,070	2,108
6,000	3,120	3,840	2,160	2,160
6,250	3,250	4,000	2,250	2,250
6,500	3,380	4,160	2,340	2,340
6,750	3,510	4,320	2,430	2,430
7,000	3,640	4,480	2,520	2,520
7,250	3,770	4,640	2,610	2,610
7,500	3,900	4,800	2,700	2,700
7,750	4,030	4,960	2,790	2,790
8,000	4,160	5,120	2,880	2,880

Basement Scenarios

Elevation



Floor Plan



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Should an ADU Be Allowed to Exceed Max FAR on Very Small R-2-2.5 Parcels? (Ratio Option)						
Parcel Size	Maximum Floor Area Ratio	Maximum Floor Area	Floor Area Remainaing for Add'l Units		Amount of Additional FA Above Maximum Allowed Needed to Provide Minimum Size ADU (R-2-2.5)	Percentage of FAR Above Maximum Allowed to Provide Minimum size ADU (R-2-2.5)
			R-2-2.5	R-3		
1,500	0.550000	825	150	375	125	15%
1,750	0.550000	963	175	438	100	10%
2,000	0.550000	1,100	200	500	75	6%
2,250	0.550000	1,238	225	563	50	4%
2,500	0.550000	1,375	250	625	25	2%
2,750	0.550000	1,513	275	688	-	-

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