

## G. Glossary

### Alignment

The arrangement of objects along a straight line.

### Alteration

Any act or process, except repair and light construction, that changes one or more of the architectural features of a structure or site, including, but not limited to, the erection, construction, reconstruction, relocation of, or addition to a structure.

### Belt Course

A horizontal board across or around a building usually enhanced with decorative molding.

### Bracket

A supporting member for a projecting element or shelf, sometimes in the shape of an inverted L and sometimes as a solid piece or a triangular truss. (See Figure 1.)

### Building

A roofed structure built for the support, shelter, or enclosure for persons, animals or property of any kind.

### Canopy

A rooflike projection or shelter that projects from the facade of a building over the sidewalk.

### Character-Defining Features

Character-defining features are those building elements which convey the style and history of a building. For example, original materials, architectural details and window and door openings help define the character of a building.

### Clapboards

Narrow, horizontal, overlapping wooden boards, usually thicker along the bottom edge, that form the outer skin of the walls of many wood frame buildings. The horizontal lines of the overlaps generally are from four to six inches apart in older houses.

### Cornice

The continuous projection at the top of a wall. The top course or molding of a wall when it serves as a crowning member. (See Figure 2.)

### Doorframe

The part of a door opening to which a door is hinged. A doorframe consists of two vertical members called jambs and a horizontal top member called a lintel or head.

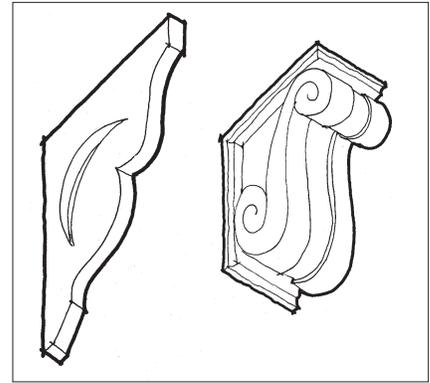


Figure 1: Bracket

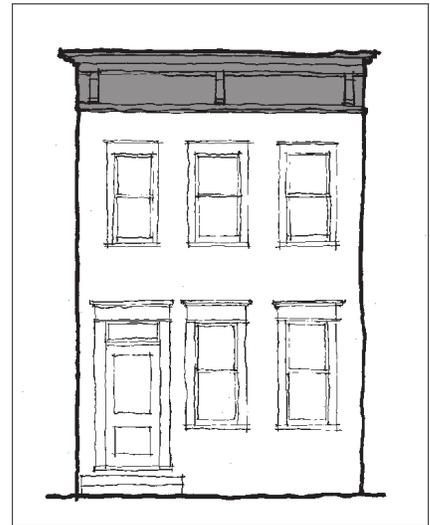


Figure 2: Cornice

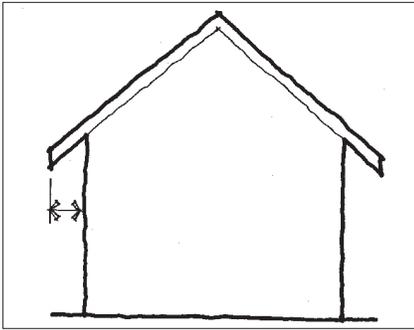


Figure 3: Eave

### **Double-Hung Window**

A window with two sashes (the framework in which window panes are set), each moveable by a means of cords and weights.

### **Eave**

The underside of a sloping roof projecting beyond the wall of a building (see Figure 3).

### **Facade**

Front or principal face of a building, any side of a building that faces a street or other open space.

### **Fascia**

A flat board with a vertical face that forms the trim along the edge of a flat roof, or along the horizontal, or “eaves,” sides of a pitched roof. The rain gutter is often mounted on it.

### **Fenestration**

The arrangement of windows and other exterior openings on a building.

### **Form**

The overall shape of a structure (i.e., most structures are rectangular in form).

### **Gable**

The portion, above eave level, of an end wall of a building with a pitched or gambrel roof. In the case of a pitched roof this takes the form of a triangle. The term is also used sometimes to refer to the whole end wall.

### **Historic District**

A geographically definable area, possessing a significant concentration or continuity of site, building, structures or objects unified by past events or aesthetically by plan or physical development. For example, the Downtown Historic Overlay Zoning District.

### **Historic Resource**

A structure or streetscape that is unique to its period of significance and as such is to be wisely managed for the benefit of present and future generations.

### **In-Kind Replacement**

To replace a feature of a building with materials of the same characteristics, such as material, texture, color, etc.

## Integrity

A property retains its integrity, if a sufficient percentage of the structure dates from the period of significance. The majority of a building's structural system and materials should date from the period of significance and its character-defining features also should remain intact. These may include architectural details, such as dormers and porches, ornamental brackets and moldings and materials, as well as the overall mass and form of the building.

## Kickplate

Found beneath the display window. Sometimes called bulk-head panel. (See Figure 4.)



Figure 4: Kickplate.

## Landmark

See Historically Significant Property.

## Mass

The physical size and bulk of a structure.

## Masonry

Construction materials such as stone, brick, concrete block or tile.

## Material

As related to the determination of “integrity” of a property, material refers to the physical elements that were combined or deposited in a particular pattern or configuration to form a historic resource.

## Module

The appearance of a single facade plane, despite being part of a larger building. One large building can incorporate several building modules. (See Figure 5.)



Figure 5: Module.

## Molding

A decorative band or strip of material with a constant profile or section designed to cast interesting shadows. It is generally used in cornices and as trim around window and door openings. (See Figure 6.)

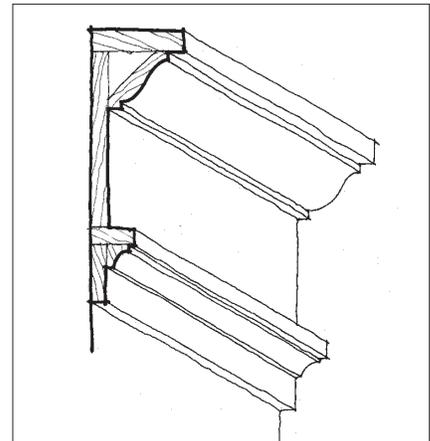


Figure 6: Molding

## Muntin

A bar member supporting and separating panes of glass in a window or door.

## Non-Historic Property

A recently constructed property, or an older one that is substantially altered, located within a designated historic district.

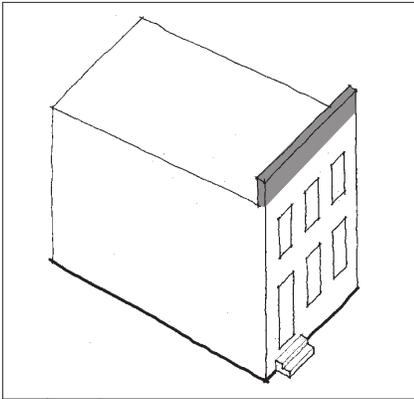


Figure 7: Parapet.

### **Orientation**

Generally, orientation refers to the manner in which a building relates to the street. The entrance to the building plays a large role in the orientation of a building; whereas, it should face the street.

### **Parapet**

An upward extension of a building wall above the roofline, sometimes ornamented and sometimes plain, used to give a building a greater feeling of height or a better sense of proportion. (See Figure 7.)

### **Period of Significance**

Span of time in which a property or district attained its significance.

### **Preservation**

The act or process of applying measures to sustain the existing form, integrity and materials of a building or structure, and the existing form and vegetative cover of a site. It may include initial stabilization work, where necessary, as well as ongoing maintenance of the historic building materials.

### **Protection**

The act or process of applying measures designed to affect the physical condition of a property by defending or guarding it from deterioration, or to cover or shield the property from danger of injury. In the case of buildings and structures, such treatment is generally of a temporary nature and anticipates future historic preservation treatment; in the case of archaeological sites, the protective measure may be temporary or permanent.

### **Reconstruction**

The act or process of reproducing by new construction the exact form and detail of a demonstrated building, structure or object, or part thereof, as it appeared at a specific period of time.

### **Rehabilitation**

The act or process of returning a property to a state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural and cultural value.

### **Renovation**

The act or process of returning a property to a state of utility through repair or alteration which makes possible a contemporary use.

### **Restoration**

The act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work.

**Scale**

The size of structure as it appears to the pedestrian.

**Shape**

The general outline of a building or its facade.

**Side Light**

A usually long fixed sash located beside a door or window; often found in pairs. (See Figure 8.)

**Siding**

The narrow horizontal or vertical wood boards that form the outer face of the walls in a traditional wood frame house. Horizontal wood siding is also referred to as clapboards. The term “siding” is also more loosely used to describe any material that can be applied to the outside of a building as a finish.

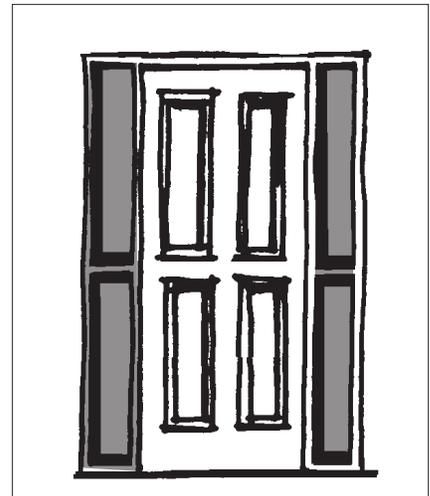


Figure 8: Sidelight

**Significant**

See Historically Significant Property.

**Sill**

The lowest horizontal member in a frame or opening for a window or door. Also, the lowest horizontal member in a framed wall or partition.

**Size**

The dimensions in height and width of a building or its face.

**Stabilization**

The fact or process of applying measures designed to reestablish a weather resistant enclosure and the structural stability of an unsafe or deteriorated property while maintaining the essential form as it exists at present.

**Storefront**

Exterior facade of a commercial building. Includes the following architectural elements: display window, transom, kickplate, entry, cornice molding, and upper story windows.

**Streetscape**

Generally, the streetscape refers to the character of the street, or how elements of the street form a cohesive environment.

**Traditional**

Based on or established by the history of the area.

**Transom Window**

A small window or series of panes above a door, or above a casement or double hung window.

**Vernacular**

This means that a building does not have details associated with a specific architectural style, but is a simple building with modest detailing and form. Historically, factors often influencing vernacular building were things such as local building materials, local climate and building forms used by successive generations.

**Visual Continuity**

A sense of unity or belonging together that elements of the built environment exhibit because of similarities among them.